



## Inspection Report

**Mr. Jon Smith**

**Property Address:**  
1234 W. Example Dr.  
Tucson AZ 85757



Front of Home

**Top Tier Home Inspections L.L.C.**

**Barrett Zeinfeld 65757  
P.O. Box 64742  
Tucson, AZ 85728  
520-730-9963**

## Table of Contents

<u>Cover Page.....</u>	<u>1</u>
<u>Table of Contents .....</u>	<u>2</u>
<u>Intro Page .....</u>	<u>3</u>
<u>1 Introductory Notes .....</u>	<u>4</u>
<u>2 Plumbing.....</u>	<u>6</u>
<u>3 Electrical.....</u>	<u>11</u>
<u>4 Exterior.....</u>	<u>12</u>
<u>5 Roofing .....</u>	<u>17</u>
<u>6 Garage/Carport.....</u>	<u>19</u>
<u>7 Structure.....</u>	<u>21</u>
<u>8 Heating and Cooling .....</u>	<u>22</u>
<u>9 Kitchen.....</u>	<u>25</u>
<u>10 Laundry.....</u>	<u>28</u>
<u>11 Interior.....</u>	<u>29</u>
<u>12 Bathrooms .....</u>	<u>31</u>
<u>13 Attic .....</u>	<u>34</u>

<b>Date:</b> 12/29/2018	<b>Time:</b> 10:00 AM	<b>Report ID:</b> 12292018
<b>Property:</b> 1234 W. Example Dr. Tucson AZ 85757	<b>Customer:</b> Mr. Jon Smith	<b>Real Estate Professional:</b>

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Acceptable Condition (AC)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended and in acceptable condition, allowing for normal wear and tear.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Monitor (M)** = The item, component or unit does not currently need to be repaired or replaced, but does need to be closely monitored for additional wear and tear moving forward. The item, component or unit may need service in the near future.

**Safety Concern (SC)**= The item, component or unit, in its current condition, presents a possible safety concern for persons living in or visiting the residence. It is always recommended that any and all safety concerns be corrected immediately by a licensed specialist.

**Not Inspected (NI)**= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**In Attendance:**

Customer and their Agent

**Type of building:**

Single Family (1 story)

**Approximate age of building:**

16-20 Years

**Home Faces:**

South

**Temperature:**

50-59 degrees (F)

**Weather:**

Clear

**Ground/Soil surface condition:**

Damp

**Rain in last 3 days:**

Yes

## 1. Introductory Notes

### Items

#### 1.0 INSPECTION SCOPE

Acceptable Condition

**Scope**

This inspection was a non-invasive examination of readily accessible systems and components conducted in accordance to the Standards of Practice of the State of Arizona for Home Inspectors. In compliance, our reports are subject to the Definitions, Scope, Limitations, Exceptions, and Exclusions as outlined in the Arizona Standards of Practice. A copy of the Standards of Practice may be obtained from your inspector or from the web site azbtr.gov.

In general, home inspections include a visual examination of readily accessible systems and components to help identify material defects as they exist at the time of the inspection. This is not a technically exhaustive inspection and does not necessarily list all minor home maintenance or repair items. Inaccessible areas, latent defects, or concealed defects are excluded from this inspection. Inspectors do not move furniture, appliances, personal items, or other materials that may limit the inspection process. Furthermore, we do not report on cosmetic or aesthetic issues and we do not test for environmental hazards or the presence of any potentially harmful substance. Unless otherwise stated, this is not a code inspection.

Home inspectors are not required to report on the following: life expectancy of any component or system; the causes of the need for a repair; the methods, materials, and costs of corrections or repairs; the suitability of the property for any specialized use; compliance or non-compliance with codes, ordinances, statutes, regulatory requirements, or restrictions; the market value of the property or its marketability; the advisability or inadvisability of purchase of the property; any component or system that was not observed; the presence or absence of pests such as wood damaging organisms, rodents, or insects; or cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: offer warranties or guarantees of any kind; calculate the strength, adequacy, or efficiency of any system or component; enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; operate any system or component that is shut down or otherwise inoperable; operate any system or component that does not respond to normal operating controls; disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; determine the effectiveness of any system installed to control or remove suspected hazardous substances; predict future condition, including but not limited to failure of components. Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property. Any comments in this report that comment on any of the non covered items should not be considered a complete inspection of said item, but done as a courtesy to the buyer to better inform them of potential issues.

**Use of Reports**

If the inspection is performed in connection with the sale, exchange or transfer of the property, copies of the report may be provided to the principals in the transaction and their agents. However, the report is for your sole information and benefit. We do not intend for anyone but the person(s) listed on this report to benefit, directly or indirectly, from this agreement and inspection report. Our contractual relationship is only to the person(s) purchasing our report/service.

BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. In addition, a copy is included on our website with your final inspection report. You should review the liability limitations and terms of the agreement carefully before accepting your inspection report. Should you discover a defect for which we may be liable to you, you must notify us and give us a reasonable opportunity to re-inspect the property before you repair the defect.

Within many real estate transactions are contingencies limiting the time available for follow up inspections, repair work, or further inquiries. We are not responsible for any investigations that are not completed prior to the end of the contingency period.

### 1.1 ENVIRONMENTAL

#### Acceptable Condition

The federal Environmental Protection Agency has not established any standards for levels of mold within a residential structure that may lead to human health problems. With that said, there are thousands of different types of mold and some people do have adverse health reactions to certain molds. Mold can be found in all different areas throughout the structure, many of which are not easily visible or accessible. Confirming the presence of mold can only be determined with a laboratory test of the suspected material, or by air sampling. Testing for mold is not within the scope of this home inspection. However, if this inspection report includes any ACTION or CONSIDERATION items concerning current or past leaks of any kind, even without any bio-organic growth noted, consider contacting an environmental specialist for further evaluation.

### 1.2 WALK THROUGH INFORMATION

#### Acceptable Condition

During your final walk-through inspection you will have the opportunity to check the home for the final time. You should check to see if anything has changed since the original home inspection. It is recommended that the owner provide any operating manuals for equipment, along with any warranties that are available. You should operate kitchen equipment, plumbing fixtures, heating and air conditioning systems, and any other equipment that is included as part of the purchase. It is also important to check for any signs of water penetration problems in the house. If the owner has agreed to any repair work, the documentation for this work should be obtained. Any problems that are discovered during the final walk-through inspection should be discussed with your Realtor, prior to closing.

### 1.3 FINDING & DISCOVERIES

#### Acceptable Condition

Any deficiency discussed in this report should be carefully considered by the client and reviewed with the real estate agent as appropriate. Because a report of a deficiency is often based on the experience of the inspector using visual clues, it should be understood, more extensive problems can be present which can be more costly to resolve than simply correcting the visible symptoms. Furthermore, it is beyond the scope of this home inspection to list every instance of similar deficiencies. The inspector's notation of any given deficiency should be interpreted such that additional similar defects may be present or more extensive. Any reported deficiency may require additional investigation to better determine the number of similar defects and related problems in order to make an informed decision.

### 1.4 PICTURES

#### Acceptable Condition

Any pictures included in this report are not meant to represent every defect that has been found. There may be action items that do not have a corresponding picture or only provide a sample number of corresponding pictures. We suggest reading the entire report to find all of the defects that have been found and reported on. Pictures, if included, represent only the key finding associated with that picture. If you have any questions on the key findings, please contact the inspector for clarification.

## 2. Plumbing

Your home inspector shall observe interior water supply and distribution systems including materials, supports, insulation, fixtures, faucets, functional flow, observable leaks, cross connections, functional drainage, interior drain, waste, and vent systems, as well as hot water systems and their components. We shall observe fuel storage and distribution systems, equipment, supply piping, venting, and supports. Water quality and hazardous material (lead) testing are not included in our standard home inspection. All underground piping including water supply, waste, and irrigation systems are not within the scope of this inspection. Your inspector is not required to determine the effectiveness of anti-syphon devices, water conditioning systems, fire and irrigation systems; operate automatic safety controls, exercise shut-off valves, or inspect on-site waste disposal systems.

**Styles & Materials**

<b>Water Source:</b> Public	<b>Waste Source:</b> Public ( to be verified by seller )	<b>Main Sewer Cleanout Location:</b> South Elevation Front
<b>Main Water Shutoff Location:</b> West Elevation and Meter Vault Near Street	<b>Water Supply Pressure:</b> 50-60 psi	<b>Water Pressure Regulator:</b> No
<b>Exterior Water Supply Pipes:</b> Where Visible Copper	<b>Interior Water Supply Pipes:</b> Where Visible Copper	<b>Waste/Drain/Vent Pipe Material:</b> ABS Where Visible
<b>Number of Water Heaters:</b> 1	<b>Water Heater Location(s):</b> Garage	<b>Water Heater Manufacturer:</b> Bradford - White
<b>Water Heater Age:</b> 1 to 3 Years	<b>Water Heater Capacity(s):</b> 40 Gallon	<b>Water Heater Power Source:</b> Natural Gas
<b>Water Heater Flue Material:</b> Metal	<b>Gas Shutoff Location:</b> East Elevation At Municipal Meter	<b>Gas Supply Pipes:</b> Black Steel Where Visible
<b>Gas Piping Support:</b> Adequate	<b>Gas Type:</b> Natural Gas	

**Items**

**2.0 IMPORTANT CLIENT INFORMATION**

**Monitor**

The water was run at all accessible plumbing fixtures for ten to fifteen minutes in order to determine if any deficiencies and/or leaks could be discovered. We recommend that you do the same at your final walkthrough.

**2.1 PLUMBING INSPECTION LIMITATIONS**

**Monitor**

Your home inspector does not test or inspect irrigation or sprinkler systems. These types of systems are not within the scope of a general home inspection and we recommend you speak with a qualified landscaping company if you have any questions or concerns regarding the homes irrigation or sprinkler system.

**2.2 Main Water Shut-Off Device**

**Acceptable Condition**

The photos show the water shut off device at the buildings exterior and the corresponding water meter. The meter was not moving at this time, indicating that there was no leak in the supply lines on the day of the inspection. While this does not absolutely guarantee that no leaks exist, it is a strong indicator and the best that can be provided during a visual home inspection.



2.2 Water Meter



2.2 Main Water Shut-Off Valve

**2.3 Water Supply Piping, Functional Flow & Pressure**

**Acceptable Condition**

No defects were observed for the water supply piping as identified in the Styles & Materials section. The functional flow was acceptable and the home water supply pressure was within the acceptable limits of 40 PSI and 80 PSI on the day of the inspection.



2.3 Water Pressure 58 PSI

**2.4 Drain, Waste & Vent Pipes**

**Acceptable Condition**

- (1) The drain / waste / vent piping as described in the Styles & Material section showed no defects on the day of the inspection. NOTE: This statement applies to the visible areas only.
- (2) The plumbing clean outs are located at the south elevation and are in acceptable condition.

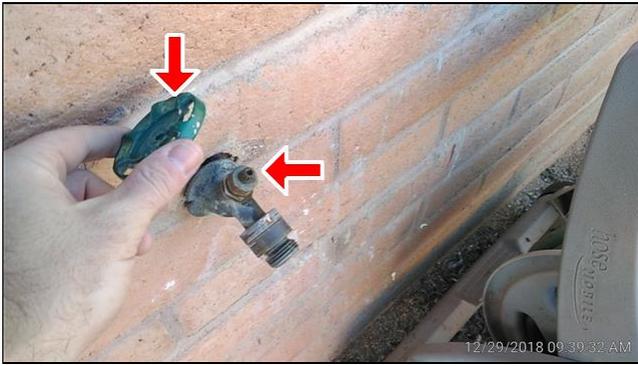


2.4 Plumbing Clean Outs

**2.5 Water Faucets / Hose Bibs**

**Repair or Replace**

The valve for the hose bib at the north elevation is not attached to the hose bib and needs to be repaired. We recommend a qualified person review and repair as necessary.



2.5

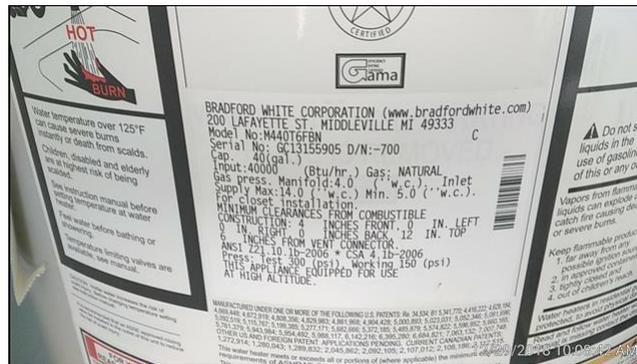
### 2.6 Water Heating Systems

Repair or Replace

The discharge pipe for the temperature pressure relief valve is incorrectly connected to a neighboring pipe that is serving as a drainage port for the condensate drain line for the air-handler, which violates current standards. Current standards require TPR discharge pipes be piped independently of other equipment drains, water heater pans, or other relief discharge pipes to the point it safely discharges. We recommend a licensed plumber review and repair as necessary.



2.6 Water Heater



2.6 Water Heater Label



2.6

**2.7 Gas Shut-Off & Fuel Gas System**

**Acceptable Condition**

The gas shut-off valve was on and not tested, but presumed to be functional on the day of the inspection. The visible portions of the gas pipes appear to be in acceptable condition and adequately supported. Your home inspector does not test the gas pipes for leaks and can only inspect the pipes that are readily visible.



2.7 Gas Meter



2.7 Gas Shut-Off Device

This inspection has been conducted in accordance with the Arizona Standards of Practice and is subject to the terms and conditions agreed upon between All Pro Home Inspections and the client, documented in the Pre-inspection Agreement. The report was produced exclusively for our client and is not to be used or interpreted by anyone other than our client or representatives chosen by our client.

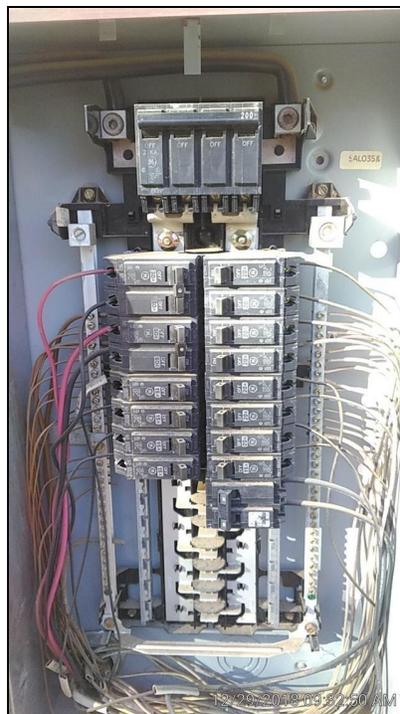
### 3. Electrical

We are not electricians and in accordance with the standards of practice, your home inspector is only required to test a representative number of installed light fixtures, switches, and receptacles. Your inspector will test the operation of ground fault circuit interrupter receptacles within six feet of interior plumbing fixtures, in the garage or carport, and all receptacles on the exterior of the residence. Your home inspector shall observe service entrance conductors, service equipment, grounding equipment, main over current devices, and the condition and location of the main distribution panel. Your home inspector shall also report any observed aluminum branch circuit wiring. Any electrical repairs or upgrades recommended by your inspector should be made before the close of escrow.

Your home inspector is not required to inspect low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephones, cable TV equipment, intercom systems, or any other ancillary wiring or systems that are not part of the primary electrical distribution system.



Main Distribution Panel



Main Distribution Panel

### Styles & Materials

**Electrical Service Conductors:**

Below Ground Service  
#3/0 Copper

**Branch Wiring:**

Copper

**Main Disconnect Location:**

Inside the Main Distribution Panel

**GFCI Reset Locations:**

Bathroom  
Garage  
Kitchen

**Service Ampacity & Voltage:**

(2) 200 AMP Service Panel  
Capacity by Cable Size  
Capacity by Main Shutoff

**Wiring Type(s):**

Non Metallic Sheathed Cable ( Romex )

**Grounding Type:**

Ufer (Foundation Reinforcing Steel)

**Circuit Protection Type:**

Circuit Breakers

**Main Panel Location:**

Exterior  
East Elevation

**Bonding:**

Water Supply Piping  
Gas Piping

**Items**

**3.0 Service Entrance Conductors & Equipment**

Acceptable Condition

No visible defects were observed when reviewing the electrical service entrance conductors on the day of the inspection.

**3.1 Main Distribution Panel & Circuit Breakers**

Acceptable Condition

The main distribution panel and circuit breakers showed no visible deficiencies on the day of the inspection.

**3.2 Service Grounding & Bonding**

Acceptable Condition

The main electrical panel was properly grounded and bonded on the day of the inspection.

**3.3 Main Panel Wiring**

Acceptable Condition

The branch circuits and their overcurrent devices showed no visible deficiencies while their ampacities and voltages were compatible as well.

**3.4 GFCI Conditions (Ground Fault Cirtcuit Interupters)**

Acceptable Condition

The electrical system is equipped with Ground Fault Circuit Interrupters (GFCI) that were functional on the day of the inspection. A Ground Fault Circuit Interrupter safety outlet is designed to protect people from electric shock from the electrical system. This type of outlet constantly monitors the electricity flowing in a circuit, to detect any loss of current. When electrical current finds an unintended path to the ground (a person), the GFCI outlet senses the drop in electrical current flowing through the system and, in less than one-tenth of a second, shuts off the circuit (pops the breaker). Current standards require GFCI protection for all exterior outlets, kitchen outlets, bathroom outlets, and garage outlets.

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**4. Exterior**

Your home inspector shall observe all readily visible wall cladding, flashings, trim, eaves, soffits, fascias, decks, balconies, stoops, steps, porches, patios, walkways, driveways, retaining walls, guardrails, and handrails. Your inspector will report on vegetation, grading, and drainage as they pertain to the condition of the structure and the condition of all exterior doors. Your inspector is not required to inspect or operate screens, storm windows, storm doors, shutters, awnings, fences, outbuildings, exterior accent lighting, or any other similar seasonal accessories.

**Styles & Materials**

**Driveway Surface:**

Concrete

**Walkway Surfaces:**

Concrete

**Patio Surfaces:**

Concrete

**Window Material:**

Double Pane

**Wall Cladding Material:**

Slump Block

**Soffit / Fascia Material:**

Wood

**Trim Material:**

Wood  
Block

**Exterior Door Materials:**

Wood  
Sliding Glass

**Yard Wall / Fence Material:**

Concrete Block

**Gate Type:**

Metal

Items

4.0 IMPORTANT CLIENT INFORMATION

Monitor

Note: Moisture intrusion is a perennial problem, which every home owner should be aware of. It involves a host of interrelated factors and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in the suspected area is consistently at or below the dew point. Additionally, if the interior floors of a residence are at the same elevation or lower than the exterior grade, the potential for moisture intrusion increases and we do not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you may wish to have a specialist further evaluate the property.

4.1 Vegetation

Repair or Replace

Vegetation is encroaching on the structure at the south elevation(s). This provides insects and pests easy access to the wall cladding as well as expose the wall cladding to additional moisture accelerating deterioration. We recommend keeping all vegetation a minimum of twelve inches away from the structure for the general welfare of the walls and foundation.



4.1

4.2 Yard Walls, Fences & Gates

Acceptable Condition

The gates, fences and/or walls have typical cosmetic damage but were in acceptable condition on the day of the inspection.

4.3 Eaves, Soffits & Fascias

Repair or Replace

(1) Water damage and/or wood rot to the eaves, soffits, and fascias was observed at the north elevation on the back patio. NOTE: Your inspector may not have taken pictures of every damaged area. We recommend that a licensed roofing contractor review and repair as necessary.



4.3



4.3



4.3

(2) The paint protecting the fascia at multiple elevation(s) is failing due to excessive heat and constant sun exposure. This leaves the wood exposed to the elements and susceptible to sun and water damage if not maintained. We recommend prep and paint by a qualified person.



4.3 South Elevation



4.3 South Elevation



4.3 West Elevation



4.3 West Elevation

**4.4 Wall Cladding, Flashing & Trim**

Acceptable Condition

The wall cladding, trim and all associated flashings were in acceptable condition on the day of the inspection.

**4.5 Patio Covers, Balconies, Decks, Steps, Porches & Railings**

Acceptable Condition

The porch, patio, and balcony structure (if applicable) showed no signs of deficiencies on the day of the inspection.

**4.6 Driveways, Patios & Walkways**

Acceptable Condition

Except for typical hairline cracks, the driveway, walkways, and patios showed no visible signs of any deficiencies on the day of the inspection.

**4.7 Grading, Drainage & Retaining Walls**

Acceptable Condition

The grading and drainage at the property showed no signs of any deficiencies on the day of the inspection. There is also an adequate difference in elevation between the exterior grade and the living space interior floors that should ensure that moisture intrusion would not threaten the living space. Please note however that in this region rain storms are few and far between and the true final grading may be covered with landscape stone. We recommend that after you take possession of the house you monitor the exterior area after the first rain storm. If any adverse conditions arise due to insufficient drainage, consult a landscape contractor for grading / drainage recommendations.

**4.8 Doors (Exterior)**

Repair or Replace

(1) The security door at the north elevation on the back patio has been removed. You may wish to have a new security gate installed for the sliding glass door leading to the backyard.

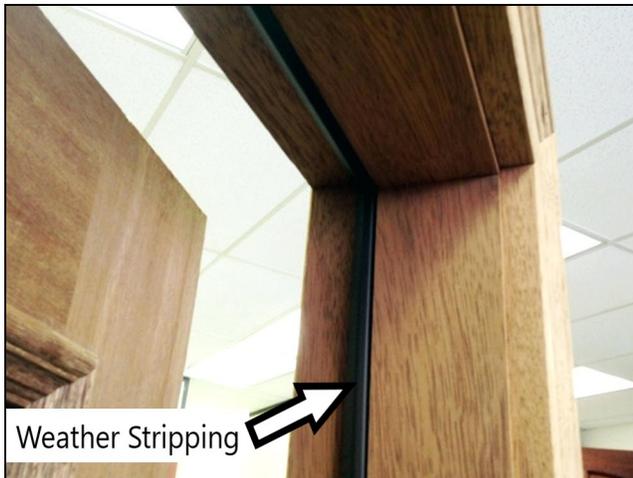


4.8

(2) The weather-stripping around the main entry door located at the south elevation(s) is deteriorated or missing which can result in water intrusion during heavy rains. We recommend replacing the weather-stripping to create a better seal around the door.



4.8

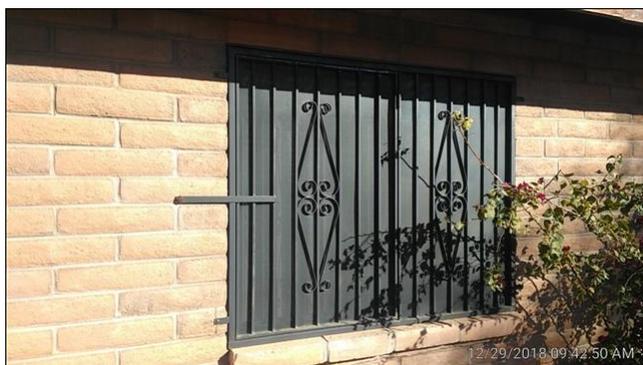


4.8 Weather Stripping

#### 4.9 Windows (Exterior)

Monitor

**Some or all of the windows are equipped with exterior security bars. Even with a quick-release feature, the presence of security bars may prevent or impede any attempt to enter or exit the residence during an emergency situation. We recommend having them removed from all windows.**



4.9

#### 4.10 Exterior Receptacles, Switches & Fixtures

Repair or Replace

The exterior outlet(s) located at the north elevation(s) is missing the top outlet cover leaving it exposed to the elements. We recommend a qualified person install the appropriate outlet cover.



4.10

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## 5. Roofing

Your home inspector shall observe and report on the condition and type of roof coverings, roof drainage systems, flashings, skylights, chimneys, and roof penetrations. Your home inspector is not required to walk on roofs deemed unsafe by the inspector or when doing so could damage the roof covering. Every roof will wear differently relative to age, weather conditions, quality of material used, method of installation, number of layers, and regularity of maintenance. Your inspector can only offer an opinion regarding the age and condition of the roof covering and associated components. Your home inspector cannot determine or predict the remaining life expectancy of the roof, determine whether or not current leaks exist, or guarantee the roof will not leak in the future. Accessories including, but not limited to, solar systems, antennae, and lightning arrestors are not within the scope of our standard home inspection.



Primary Roof



Primary Roof



Primary Roof



Primary Roof



Secondary Roof

## Styles & Materials

<b>Roof Inspection Method:</b> Walked Roof	<b>Primary Roof-Type:</b> Gable Valley Hip	<b>Primary Roof Covering:</b> Concrete Tile
<b>Primary Roof Slope:</b> Medium	<b>Estimated Age of Primary Roof:</b> 16 to 20 Years	<b>Flashing Material:</b> Metal
<b>Valley Flashing Material:</b> Sheet Metal	<b>Gutters &amp; Downspouts:</b> NONE	<b>Secondary Roof-Type:</b> Shed
<b>Secondary Roof Covering:</b> Cap Sheet Built-up Roofing	<b>Estimated Age of Secondary Roof:</b> 1 to 5 Years	<b>Skylights / Solar Tubes:</b> NONE
<b>Chimney:</b> NONE		

## Items

### 5.0 IMPORTANT CLIENT INFORMATION

**Monitor**

All roof systems require annual inspection and maintenance. Failure to perform routine roof maintenance may result in leaks and accelerated deterioration of the roof covering and flashings.

### 5.1 Roof Coverings

**Repair or Replace**

(1) Although the roof was performing its intended function on the day of the inspection, multiple roof tiles are sliding leaving the underlayment exposed. This can allow water to leak through the roof tiles and reach the underlayment below, which can cause the underlayment to deteriorate at a faster rate and eventually result in moisture intrusion and possible roof leaks. We recommend that a qualified person review and repair or replace the damaged tiles.



5.1

(2) The secondary roof covering is starting to curl at the seams. This will allow water to penetrate the roof covering and lead to water damage to the roof sheathing below. We recommend sealing the seams and/or applying elastomeric coating to the roof covering for additional protection.



5.1

**5.2 Roof Flashings & Penetrations**

Acceptable Condition

The roof flashings were in acceptable condition on the day of the inspection.

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**6. Garage/Carport**

Your home inspector shall observe and inspect all readily accessible portions of the walls, ceilings, floors, doors, steps, stairways, fire resistive barriers, garage door openers, garage door hardware, as well as garage door safety features.



Garage

**Styles & Materials**

**Garage Type:**  
Attached

**Garage Door Type:**  
One Automatic

**Garage Door Material:**  
Metal

**Garage Walls:**  
Finished Walls

**Garage Ceiling:**  
Finished Ceiling

**Garage Flooring:**  
Concrete

**Items**

**6.0 Garage Door, Hardware & Components**

Acceptable Condition

The garage door and its hardware, including all safety reverse points, were functional and in acceptable condition on the day of the inspection.

**6.1 Firewall & Passage Door**

Repair or Replace

**(1) The garage entry door to the home is a self-closing door but it does not fully close and latch which compromises the firewall separation between the living space and the garage. This is a safety concern and we recommend that a qualified person review and repair or replace the self closing hinge.**



6.1

**(2) There is a hole in the ceiling of the garage which compromise the firewall separation between the garage and the living space. We recommend a qualified person patch and repair the ceiling holes in order to maintain the necessary firewall separation between the garage and the residence.**

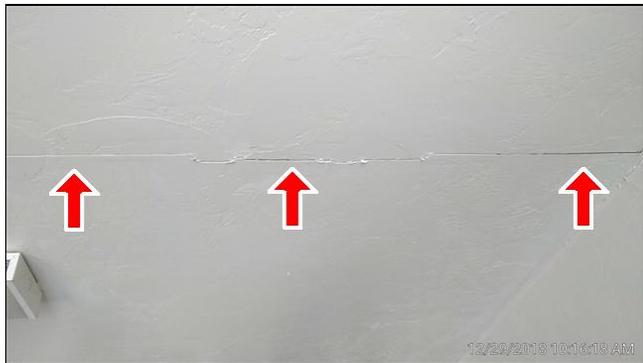


6.1

**6.2 Garage Ceiling & Walls**

Repair or Replace

Hairline cracks were observed on the ceiling along the drywall seams. This is not a load bearing location so the cracking appears to be just a cosmetic issue and not structurally significant. We recommend a qualified person patch and repair as necessary.



6.2

### 6.3 Garage Floor

Acceptable Condition

The garage floor, where visible, showed no major defects and was in acceptable condition on the day of the inspection.

### 6.4 Garage Receptacles, Switches & Fixtures

Acceptable Condition

The garage light fixtures, switches, and receptacles were in acceptable condition and met current safety standards on the day of the inspection.

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## 7. Structure

Your home inspector shall observe and report on visible structural components including foundations, floors, walls, columns or piers, ceilings, and roofs. Your home inspector shall describe the type of foundation, floor structure, wall structure, columns or piers, ceiling structure, and roof structure and look for any evidence of deficiencies. Your inspector shall enter and report on the condition of under floor crawlspaces, basements, and attic spaces except when access is obstructed or when entry could damage the property. All areas covered by flooring material, finished walls and ceilings, and personal items on the day of the inspection are not covered within the scope of this standard home inspection. Your home inspector will report on any suspicious cracks or deficiencies that are clearly visible but we are not specialists and may not recommend consulting with a structural engineer, this should not deter you from seeking the opinion of a licensed expert.

### Styles & Materials

**Foundation Type & Material:**

Spread Footing with Stem Wall & Floating Interior Slab

**Wall Structure:**

Masonry

**Roof Structure:**

Engineered Wood Trusses  
Plywood

**Ceiling Structure:**

Partially Visible  
Wood Trusses

**Floor Structure:**

Partially Visible  
Concrete Slab

**Columns & Piers:**

Wood Columns

**Floor Insulation:**

Not Visible  
Unable to Determine

**Wall Insulation:**

Not Visible  
Unable to Determine

## Items

### 7.0 STRUCTURE INSPECTION LIMITATIONS

#### Monitor

The ceiling joists within the heated and cooled living space were covered with thermal insulation and concealed by drywall or sheetrock. Consequently, these joists could not be visually inspected or evaluated. Any exposed and readily visible ceiling joists inside the home, and on the exterior, were visually inspected.

### 7.1 Foundation / Concrete Slab

#### Acceptable Condition

The entire concrete slab and/or sub flooring was not visible. Certain areas of the residence, such as the garage, some exterior storage closets, and some detached laundry rooms, leave the foundation or sub-flooring exposed and partially visible. After inspecting any exposed or partially visible portions of the foundation and after viewing the areas covered by flooring, the concrete slab appears to be intact and functional.

### 7.2 Roof Structure

#### Acceptable Condition

The following photos show the sections of the roof structure, within the attic, that were accessible and visible to your inspector. These areas, when visually inspected, showed no signs of any structural deficiencies on the day of the inspection.



7.2 Roof Structure



7.2 Roof Structure

### 7.3 Wall Structure

#### Acceptable Condition

Although the wall structure was covered on both the exterior and interior, no evidence of structural deficiencies or defects were observed during the inspection. Since the framing system was not visible to your inspector, you should immediately call your inspector if any adverse cracking becomes apparent in the future.

### 7.4 Columns & Piers

#### Acceptable Condition

The columns were in acceptable condition on the day of the inspection.

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## 8. Heating and Cooling

Your home inspector shall observe and report on permanently installed and readily visible heating equipment, cooling equipment that is central to home, normal operating controls, automatic safety controls, chimneys, flues, vents, distribution systems, insulation, as well as the presence of an installed heating and cooling source in each living space. The home inspector shall operate the systems using normal operating controls, except when doing so could potentially damage the equipment. Observations such as, but not limited to, detecting carbon monoxide, determining the presence of asbestos materials, and detecting cracks or holes within the concealed portions of the heat exchanger or firebox are beyond the scope of this home inspection.

**Styles & Materials**

<b>Number of Heat Systems:</b> One	<b>Heat Type:</b> Forced Air Gas	<b>Heat System Location:</b> Garage
<b>Heat Energy Source:</b> Natural Gas	<b>Heat System Brand:</b> Goodman	<b>Furnace Flue:</b> Metal
<b>Heat Source in Each Room:</b> Yes	<b>Cooling Source in Each Room:</b> Yes	<b>Air Handler Age:</b> New/Less than 1 Year
<b>Air Handler Location:</b> Garage	<b>Number of AC Units:</b> One	<b>Cooling Equipment Type:</b> Split System
<b>Cooling Equipment Energy Source:</b> Electric	<b>Compressor / Heat Pump Location:</b> Exterior East Elevation	<b>Central Air Brand:</b> Goodman
<b>Condensing Unit Age:</b> New/Less than 1 Year	<b>Cooling Equipment Tonnage:</b> Four Tons	<b>Duct System:</b> Insulated Flex Ducting
<b>Filter Type:</b> Disposable	<b>Interior Ceiling Fans:</b> No	<b>Exterior Ceiling Fans:</b> No
<b>Operable Fireplaces:</b> NONE		

**Items**

**8.0 IMPORTANT CLIENT INFORMATION**

**Monitor**

Bi-annual scheduled maintenance of a home's HVAC system is an important part of the overall care of your home, and is required by most home warranty companies in order for repairs to be covered under a home warranty program. Some defects may be found during this service that are not evident in the scope of our home inspection. We recommend that you have the home seller provide you with a record that the HVAC system has been serviced in the past six months. If the system has not been serviced, it should be done during the inspection period.

**8.1 Cooling System(s)**

Not Inspected

The condensing unit was not tested for proper operation due to the outside air temperature being 65 degrees or less, doing so could damage the unit and its components. Additionally, a small section of insulation is missing on the refrigerant line. We recommend insulation be installed to all exposed refrigerant lines.



8.1 Condensing Unit



8.1 Condensing Unit Label



8.1 Missing Insulation

**8.2 Heating System(s)**

Acceptable Condition

The furnace was functional and all components were in acceptable condition on the day of the inspection.



8.2 Supply Air Temperature

**8.3 Air Handler(s)**

Acceptable Condition

The air handler was functional and in acceptable condition on the day of the inspection.

**8.4 A/C Splits (cooling)**

Not Inspected

Due to the outside temperature being below 65 degrees, the AC unit was not tested and no splits were taken or recorded.

**8.5 Distribution Systems**

Repair or Replace

A portion of the distribution system in the attic is sealed off with duct tape. We recommend properly sealing the open distribution port.



8.5

**8.6 Normal Operating Controls**

Acceptable Condition

The thermostat was functional and in acceptable condition on the day of the inspection.

**8.7 Heating & Cooling Source in Each Room**

Acceptable Condition

All living spaces throughout the home were equipped with a heating and cooling source on the day of the inspection.

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**9. Kitchen**

Your home inspector shall observe and operate the basic functions of the following kitchen appliances but cannot evaluate their performance on different settings or cycles; permanently installed dishwashers, ranges, cook tops, permanently installed ovens, garbage disposals, ventilation equipment, range hoods, and permanently installed microwave ovens. Your home inspector is not required to inspect clocks, timers, thermostats, refrigerators, freezers, ice makers, or trash compactors. Your home inspector is not required to operate any appliances in use or any appliance that is shut down or otherwise inoperable.



Kitchen

**Styles & Materials**

**Countertop Material:**

Ceramic Tile

**Cabinetry Material:**

Wood

**Sink:**

2 Bowls  
Stainless Steel

**Garbage Disposal:**

Yes

**Microwave Installed:**

Yes

**Dishwasher Installed:**

Yes

**High Loop / Air Gap Installed:**

No

**Range / Oven:**

Electric

**Range Anti-tip Device:**

No

**Exhaust / Range Hood:**

Exhaust Fan Built into the Microwave that Re-circulates Through a Filter

**GFCI Protected Outlets:**

Partial

**Items**

**9.0 KITCHEN INSPECTION LIMITATIONS**

Monitor

Water filtration systems are checked for water flow and evidence of current or past leaks. Your home inspector did not test the systems water quality as this is beyond the scope of a standard home inspection.

**9.1 Sink & Components**

Acceptable Condition

The kitchen sink, faucets, sink drain, and all associated components were functional and in acceptable condition on the day of the inspection.

**9.2 Countertop & Cabinetry**

Repair or Replace

The grout and tiles behind and adjacent to the sink is cracked and damaged. This will lead to water intrusion and possible water damage as time goes on. We recommend a qualified person patch and repair as necessary.



9.2



9.2

**9.3 Ranges / Ovens / Cooktops**

Repair or Replace

The range was functional but not equipped with an anti-tip device, which prevents the range from tipping and spilling its contents, should a child stand or jump on the door of the oven if left open. This is a recommended safety feature that should be installed, and particularly if small children occupy or visit the residence.



9.3 Example of Anti-Tip Bracket

**9.4 Range Hood / Exhaust**

Acceptable Condition

The range/hood exhaust system was functional on the day of the inspection.

**9.5 Garbage Disposal**

Acceptable Condition

The garbage disposal was functional on the day of the inspection.

**9.6 Dishwasher**

Repair or Replace

The dishwasher is functional but discharges without a mandated air gap or presence of a high loop, which prevent any contaminants in the sink from flowing into the potable water system by siphonage and is the least expensive form of backflow prevention. Additionally, the dishwasher is plugged into a GFCI outlet. This means when a GFCI outlet in the kitchen is tripped, the dishwasher will shut off. We recommend using a dedicated outlet for the dishwasher and installing a correct air gap or high loop.



9.6 No High Loop



9.6 Example of High Loop

**9.7 Built-In Microwave**

Acceptable Condition

The built-in microwave was functional and in acceptable condition on the day of the inspection. Testing microwaves for leaks from the appliance door or housing is not included in this inspection. If the microwave was tested, it was only tested to see if it would heat water/moisture placed into the unit. We cannot determine if the various cooking options perform as designed. Because of the potential for microwave leakage, we recommend having the appliance periodically tested and serviced by a qualified appliance service technician.

**9.8 Refrigerator**

Acceptable Condition

The refrigerator was functional and in acceptable condition on the day of the inspection.

**9.9 Kitchen Receptacles, Switches & Fixtures**

Repair or Replace

**One or more outlets in the kitchen are not GFCI protected. Although this may not have been required at the time the home was built, we recommend upgrading the kitchen outlets to meet current safety requirements.**



9.9 Not GFCI Protected

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## 10. Laundry

Testing of clothes washers, dryers, water valves and drains are not within the scope of this inspection. We inspect the general condition and accessibility of the visible water supply, drain, and electric and/or gas connections as well as the visible portions of the dryer vent. If present, laundry sink features will also be inspected.



Laundry Area

### Styles & Materials

**Laundry Tub:**  
NONE

**Laundry Ventilation:**  
Fan

**Washing Machine Water Shut Off Valve:**  
Present

**Clothes Dryer Power Source:**  
220 Electric  
Gas  
Both (your choice)

**Clothes Dryer Vent:**  
Vents to Exterior

**Clothes Dryer Vent Material:**  
Flexible Metal

### Items

#### 10.0 IMPORTANT CLIENT INFORMATION

**Monitor**

Faulty dryer vents have been responsible for thousands of fires, hundreds of injuries, and even deaths. The best vent hoses are the smooth-walled metal type that travel a short distance; all other types should be regarded as suspect, and should be inspected bi-annually to ensure that they do not contain trapped lint or moisture.

#### 10.1 Clothes Washer

**Acceptable Condition**

The washer successfully completed a short wash cycle on the day of the inspection.

#### 10.2 Clothes Dryer

**Acceptable Condition**

The dryer successfully completed a short drying cycle on the day of the inspection.

#### 10.3 Washer Hook-Ups & Components

**Acceptable Condition**

The washer valves and connectors were functional and in acceptable condition on the day of the inspection.

#### 10.4 Clothes Dryer Vent

**Repair or Replace**

The dryer vent hose is separated from the dryer and needs to be secured in order to effectively vent any and all dryer exhaust.



10.4 Dryer Vent Separated

**10.5 Laundry Area Ventilation**

Acceptable Condition

The laundry room/area exhaust fan or operable window was functional on the day of the inspection.

**10.6 220 Volt Receptacle**

Acceptable Condition

The 220 Volt receptacle was determined to be functional after the dryer successfully completed a short drying cycle while plugged into the 220 Volt receptacle.

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**11. Interior**

Your home inspector shall observe the visually accessible areas of walls, ceiling, floors, steps, stairways, balconies, and railings. Your inspector shall test a representative number of installed cabinets, doors, windows, switches, and outlets. Your home inspector is not required to inspect or operate screens, storm windows, shutters, or awnings. We do not move furniture or personal possessions, lift carpets or rugs, or comment on cosmetic deficiencies. We always recommend viewing all areas that were concealed or covered by personal items on the day of the inspection before the close of escrow.

**Styles & Materials**

**Ceiling Material:**

Sheetrock/Drywall/Gypsum Board

**Wall Material:**

Plaster and Drywall/Gypsum Board

**Window Type / Design:**

Fixed  
Sliding

**Floor Coverings:**

Ceramic/Clay Tile  
Carpet

**Interior Door Type:**

Wood Hollow Core  
French Doors

**Smoke Detectors Present:**

Yes  
Disassembled

**Items**

**11.0 Ceilings & Walls**

Acceptable Condition

The walls and ceiling showed signs of typical wear and tear but were in acceptable condition on the day of the inspection.

**11.1 Floors**

Repair or Replace

Cracked tiles were observed in living room and hallway. Although most likely caused by settling over time, you may wish to replace the cracked tiles and we recommend monitoring your flooring for additional cracked or broken tiles in the future.



11.1



11.1

**11.2 Windows**

Repair or Replace

The dual pane window on the north wall in the master bathroom has migrating hermetic seals which will lead to moisture intrusion between the two window panes. This moisture intrusion will result in minor energy loss and eventually result in discoloration of the window panes. Although this is primarily a cosmetic issue, you may wish to consult with a window installation company to discuss possible repair or replacement options moving forward.



11.2

**11.3 Doors & Closets**

Repair or Replace

The sliding closet doors in the hallway and guest bedroom are missing the guide/track hardware which allows the closet doors to slide smoothly and prevents them from swaying forward and backward. We recommend a qualified person install the proper guide/track hardware.



11.3

**11.4 Interior Receptacles, Switches & Fixtures**

Repair or Replace

(1) The light in the hallway did not respond to a request for power. This could be due to a bad bulb or could be caused by a wiring issue. We recommend replacing the bulb and if the light still does not respond, we recommend a licensed electrician review and repair as necessary.



11.4

(2) An outlet in the guest bedroom closet is missing an outlet cover and one needs to be installed.



11.4

### 11.5 Smoke & CO Detectors

Repair or Replace

The smoke detector in the hallway and guest bedroom has been intentionally disconnected. Without a working smoke detector in your home you have no first alert to a possible fire. We recommend you repair or replace all disconnected smoke detectors throughout the home.

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## 12. Bathrooms

Your home inspector shall look for any active leaks, water damage, excessive wear and tear, and deterioration in any caulking or grout materials. Your inspector will run all the bathroom fixtures simultaneously to check for adequate water pressure, volume, and functional flow. Unusual bath features such as, but not limited to, steam generators and saunas are not within the scope of our standard home inspection unless specifically discussed in the Pre-Inspection Agreement. Additionally, we do not leak-test shower pans.



Master Bathroom



Guest Bathroom

**Styles & Materials**

**Number of Bathrooms:**  
2

**Countertop Material:**  
Solid Surface Material  
Laminate

**Flooring Material:**  
Ceramic Tile

**Washbasins Material:**  
Solid Surface Material

**Bathtub Material:**  
Stamped Steel with Porcelain Finish

**Shower Wall Material:**  
Ceramic Tiles

**Bathroom Ventilation:**  
Exhaust Fan  
Window

**GFCI Protected Outlets:**  
Yes

**Items**

**12.0 BATHROOM INSPECTION LIMITATIONS**

**Monitor**

Operating angle stops that have been shut off for some time may cause them to leak. Experienced inspectors do not operate them during a standard home inspection. If you chose to check any valve that has not been operated in the past six months, be prepared to deal with possible water leaks.

**12.1 Washbasins, Faucets & Drains**

**Acceptable Condition**

The bathroom sinks and components were all functional and in acceptable condition on the day of the inspection.

**12.2 Toilet(s)**

**Repair or Replace**

The toilet in the master bathroom runs continuously. Additionally, the toilet is loose and needs to be secured. We recommend a qualified person review and repair as necessary.



12.2

**12.3 Bathtub(s)**

Acceptable Condition

The bathtubs were functional and in acceptable condition on the day of the inspection.

**12.4 Shower Components, Walls & Enclosure**

Acceptable Condition

The shower components, shower walls, and shower enclosures were functional and in acceptable condition on the day of the inspection.

**12.5 Countertops & Cabinets**

Repair or Replace

**(1) Evidence of a possible biological organism was observed in the guest bathroom below the sink. Your home inspector is not qualified to perform or conduct any tests to confirm or identify biological substances. We recommend contacting a certified mold assessor for further evaluation, testing, and recommendations.**



12.5

**(2) The cabinet trim is pulling away from the structure and needs to be secured.**



12.5

**12.6 Ceilings & Walls**

Repair or Replace

Water damage was observed on the wall directly adjacent to the bathtub or shower in the guest bathroom and the master bathroom. Although this is very common to see near showers and bathtubs, you may wish to repair or replace the damaged material.



12.6

**12.7 Floors**

Acceptable Condition

The bathroom flooring showed typical cosmetic wear and tear but was in acceptable condition on the day of the inspection.

**12.8 Bathroom Ventilation**

Acceptable Condition

The bathrooms contain adequate ventilation by exhaust fan and/or windows.

**12.9 Bathroom Receptacles, Switches & Fixtures**

Acceptable Condition

The bathroom light fixtures, switches, and receptacles were functional and met current safety standards on the day of the inspection.

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**13. Attic**

Your home inspector shall observe: insulation and vapor retarders in unfinished spaces, ventilation of attics and foundation areas, kitchen, bathroom, and laundry venting systems.



Attic Area



Attic Area



Attic Area

## Styles & Materials

**Method Used to Observe Attic:**

Entered

**Location of Attic Access:**

Master Bedroom Closet

**Attic Access Type:**

Hatch

**Attic Insulation:**

Batt Fiberglass  
Approximately 8" Deep

**Attic Ventilation:**

Soffit Vents

## Items

### 13.0 ATTIC INSPECTION LIMITATIONS

**Monitor**

Please note that your home inspector walked and reviewed the attic area to the best of his ability within common safety standards. Keep in mind, all attics are restrictive and no attic can be completely walked or reviewed.

### 13.1 Attic Access and General Conditions

**Repair or Replace**

Evidence of the presence of pests or rodents was observed within the attic space. Animals living within the attic space can damage ductwork, insulation, and electrical wiring and pose a health concern to the occupants below. We recommend contacting an exterminator as soon as possible.



13.1

### 13.2 Attic Moisture and Ventilation

**Acceptable Condition**

The attic ventilation was acceptable per local building standards, with no excessive moisture or condensation observed. NOTE: Almost all attic spaces benefit from increased ventilation.

### 13.3 Attic Insulation

**Acceptable Condition**

The depth of the attic insulation, measured at several locations, meets or exceeds current standards.  
NOTE: Most attics benefit from added insulation, within reason.

**13.4 Attic Receptacles, Switches & Wiring****Acceptable Condition**

The electrical components within the attic space, that are fully visible, appear to be in acceptable condition.

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