

Summary



**P.O. Box 64742
Tucson, AZ 85728
520-730-9963**

Customer
Mr. Jon Smith

Address
1234 W. Example Dr.
Tucson AZ 85757

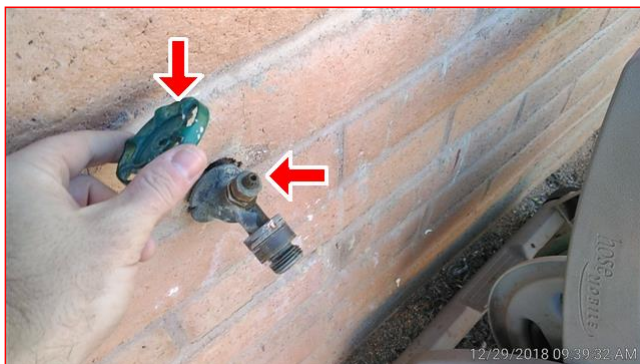
The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Plumbing

2.5 Water Faucets / Hose Bibs

Repair or Replace

The valve for the hose bib at the north elevation is not attached to the hose bib and needs to be repaired. We recommend a qualified person review and repair as necessary.

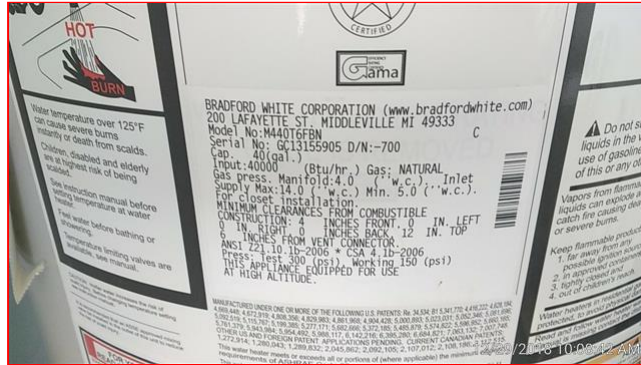


2.5

2.6 Water Heating Systems

Repair or Replace

The discharge pipe for the temperature pressure relief valve is incorrectly connected to a neighboring pipe that is serving as a drainage port for the condensate drain line for the air-handler, which violates current standards. Current standards require TPR discharge pipes be piped independently of other equipment drains, water heater pans, or other relief discharge pipes to the point it safely discharges. We recommend a licensed plumber review and repair as necessary.



2.6 Water Heater Label

2.6 Water Heater



2.6

4. Exterior

4.1 Vegetation

Repair or Replace

Vegetation is encroaching on the structure at the south elevation(s). This provides insects and pests easy access to the wall cladding as well as expose the wall cladding to additional moisture accelerating deterioration. We recommend keeping all vegetation a minimum of twelve inches away from the structure for the general welfare of the walls and foundation.



4.1

4.3 Eaves, Soffits & Fascias

Repair or Replace

(1) Water damage and/or wood rot to the eaves, soffits, and fascias was observed at the north elevation on the back patio. NOTE: Your inspector may not have taken pictures of every damaged area. We recommend that a licensed roofing contractor review and repair as necessary.



4.3



4.3



4.3

(2) The paint protecting the fascia at multiple elevation(s) is failing due to excessive heat and constant sun exposure. This leaves the wood exposed to the elements and susceptible to sun and water damage if not maintained. We recommend prep and paint by a qualified person.



4.3 South Elevation



4.3 South Elevation



4.3 West Elevation



4.3 West Elevation

4.8 Doors (Exterior)

Repair or Replace

(1) The security door at the north elevation on the back patio has been removed. You may wish to have a new security gate installed for the sliding glass door leading to the backyard.



4.8

(2) The weather-stripping around the main entry door located at the south elevation(s) is deteriorated or missing which can result in water intrusion during heavy rains. We recommend replacing the weather-stripping to create a better seal around the door.



4.8

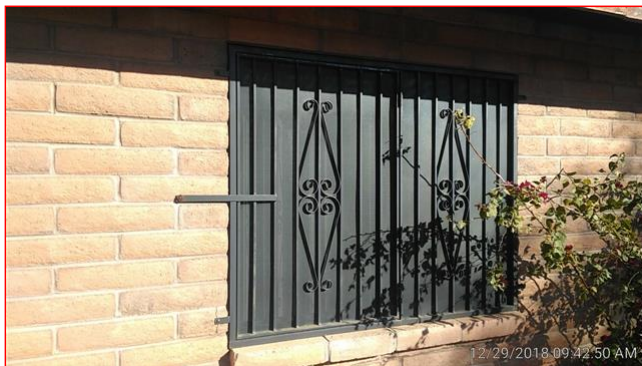


4.8 Weather Stripping

4.9 Windows (Exterior)

Monitor

Some or all of the windows are equipped with exterior security bars. Even with a quick-release feature, the presence of security bars may prevent or impede any attempt to enter or exit the residence during an emergency situation. We recommend having them removed from all windows.



4.9

4.10 Exterior Receptacles, Switches & Fixtures

Repair or Replace

The exterior outlet(s) located at the north elevation(s) is missing the top outlet cover leaving it exposed to the elements. We recommend a qualified person install the appropriate outlet cover.



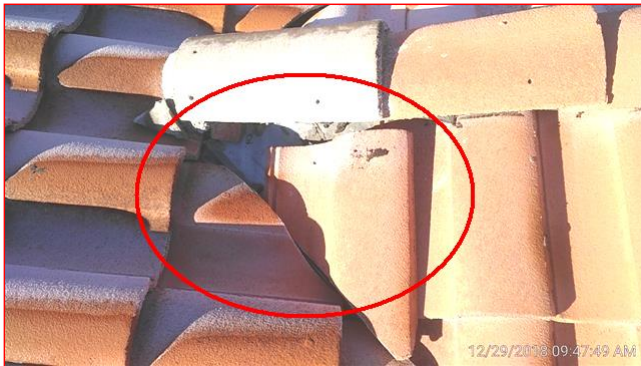
4.10

5. Roofing

5.1 Roof Coverings

Repair or Replace

(1) Although the roof was performing its intended function on the day of the inspection, multiple roof tiles are sliding leaving the underlayment exposed. This can allow water to leak through the roof tiles and reach the underlayment below, which can cause the underlayment to deteriorate at a faster rate and eventually result in moisture intrusion and possible roof leaks. We recommend that a qualified person review and repair or replace the damaged tiles.



5.1

(2) The secondary roof covering is starting to curl at the seams. This will allow water to penetrate the roof covering and lead to water damage to the roof sheathing below. We recommend sealing the seams and/or applying elastomeric coating to the roof covering for additional protection.



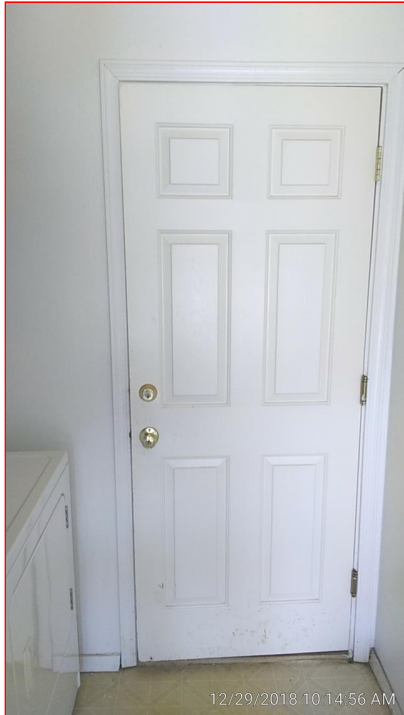
5.1

6. Garage/Carport

6.1 Firewall & Passage Door

Repair or Replace

(1) The garage entry door to the home is a self-closing door but it does not fully close and latch which compromises the firewall separation between the living space and the garage. This is a safety concern and we recommend that a qualified person review and repair or replace the self closing hinge.



6.1

(2) There is a hole in the ceiling of the garage which compromise the firewall separation between the garage and the living space. We recommend a qualified person patch and repair the ceiling holes in order to maintain the necessary firewall separation between the garage and the residence.



6.1

6.2 Garage Ceiling & Walls

Repair or Replace

Hairline cracks were observed on the ceiling along the drywall seams. This is not a load bearing location so the cracking appears to be just a cosmetic issue and not structurally significant. We recommend a qualified person patch and repair as necessary.



6.2

8. Heating and Cooling

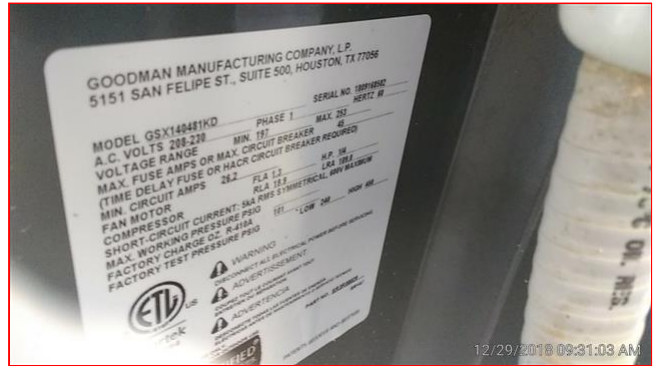
8.1 Cooling System(s)

Not Inspected

The condensing unit was not tested for proper operation due to the outside air temperature being 65 degrees or less, doing so could damage the unit and its components. Additionally, a small section of insulation is missing on the refrigerant line. We recommend insulation be installed to all exposed refrigerant lines.



8.1 Condensing Unit



8.1 Condensing Unit Label



8.1 Missing Insulation

8.5 Distribution Systems

Repair or Replace

A portion of the distribution system in the attic is sealed off with duct tape. We recommend properly sealing the open distribution port.



8.5

9. Kitchen

9.2 Countertop & Cabinetry

Repair or Replace

The grout and tiles behind and adjacent to the sink is cracked and damaged. This will lead to water intrusion and possible water damage as time goes on. We recommend a qualified person patch and repair as necessary.



9.2



9.2

9.3 Ranges / Ovens / Cooktops

Repair or Replace

The range was functional but not equipped with an anti-tip device, which prevents the range from tipping and spilling its contents, should a child stand or jump on the door of the oven if left open. This is a recommended safety feature that should be installed, and particularly if small children occupy or visit the residence.



9.3 Example of Anti-Tip Bracket

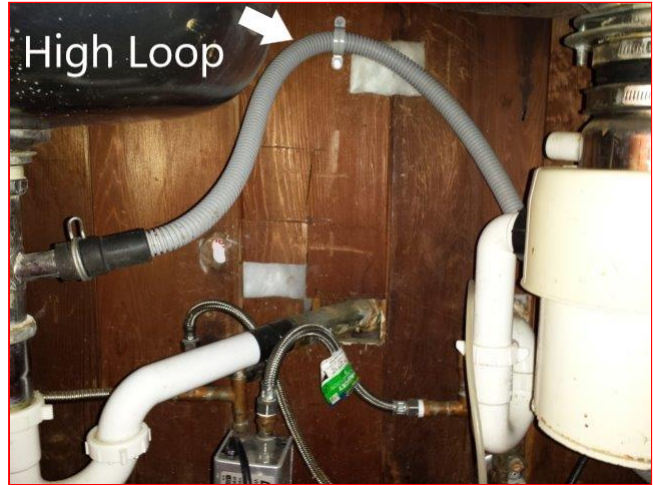
9.6 Dishwasher

Repair or Replace

The dishwasher is functional but discharges without a mandated air gap or presence of a high loop, which prevent any contaminants in the sink from flowing into the potable water system by siphonage and is the least expensive form of backflow prevention. Additionally, the dishwasher is plugged into a GFCI outlet. This means when a GFCI outlet in the kitchen is tripped, the dishwasher will shut off. We recommend using a dedicated outlet for the dishwasher and installing a correct air gap or high loop.



9.6 No High Loop



9.6 Example of High Loop

9.9 Kitchen Receptacles, Switches & Fixtures

Repair or Replace

One or more outlets in the kitchen are not GFCI protected. Although this may not have been required at the time the home was built, we recommend upgrading the kitchen outlets to meet current safety requirements.



9.9 Not GFCI Protected

10. Laundry

10.4 Clothes Dryer Vent

Repair or Replace

The dryer vent hose is separated from the dryer and needs to be secured in order to effectively vent any and all dryer exhaust.



10.4 Dryer Vent Separated

11. Interior

11.1 Floors

Repair or Replace

Cracked tiles were observed in living room and hallway. Although most likely caused by settling over time, you may wish to replace the cracked tiles and we recommend monitoring your flooring for additional cracked or broken tiles in the future.



11.1



11.1

11.2 Windows

Repair or Replace

The dual pane window on the north wall in the master bathroom has migrating hermetic seals which will lead to moisture intrusion between the two window panes. This moisture intrusion will result in minor energy loss and eventually result in discoloration of the window panes. Although this is primarily a cosmetic issue, you may wish to consult with a window installation company to discuss possible repair or replacement options moving forward.



11.2

11.3 Doors & Closets

Repair or Replace

The sliding closet doors in the hallway and guest bedroom are missing the guide/track hardware which allows the closet doors to slide smoothly and prevents them from swaying forward and backward. We recommend a qualified person install the proper guide/track hardware.



11.3

11.4 Interior Receptacles, Switches & Fixtures

Repair or Replace

(1) The light in the hallway did not respond to a request for power. This could be due to a bad bulb or could be caused by a wiring issue. We recommend replacing the bulb and if the light still does not respond, we recommend a licensed electrician review and repair as necessary.



11.4

(2) An outlet in the guest bedroom closet is missing an outlet cover and one needs to be installed.



11.4

11.5 Smoke & CO Detectors

Repair or Replace

The smoke detector in the hallway and guest bedroom has been intentionally disconnected. Without a working smoke detector in your home you have no first alert to a possible fire. We recommend you repair or replace all disconnected smoke detectors throughout the home.

12. Bathrooms

12.2 Toilet(s)

Repair or Replace

The toilet in the master bathroom runs continuously. Additionally, the toilet is loose and needs to be secured. We recommend a qualified person review and repair as necessary.



12.2

12.5 Countertops & Cabinets

Repair or Replace

(1) Evidence of a possible biological organism was observed in the guest bathroom below the sink. Your home inspector is not qualified to perform or conduct any tests to confirm or identify biological substances. We recommend contacting a certified mold assessor for further evaluation, testing, and recommendations.



12.5

(2) The cabinet trim is pulling away from the structure and needs to be secured.



12.5

12.6 Ceilings & Walls

Repair or Replace

Water damage was observed on the wall directly adjacent to the bathtub or shower in the guest bathroom and the master bathroom. Although this is very common to see near showers and bathtubs, you may wish to repair or replace the damaged material.



12.6

13. Attic**13.1 Attic Access and General Conditions****Repair or Replace**

Evidence of the presence of pests or rodents was observed within the attic space. Animals living within the attic space can damage ductwork, insulation, and electrical wiring and pose a health concern to the occupants below. We recommend contacting an exterminator as soon as possible.



13.1

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.